

Building Permit Application Requirements for New Residential Garages

The purpose of this brochure is to explain to owners, designers and contractors the **minimum** building permit application requirements for new residential garages.

"This information is provided for convenience only and is not in substitution of applicable City Bylaws or Provincial or Federal Codes or laws. You must satisfy yourself that any existing or proposed construction or other works complies with such Bylaws, Codes or other laws."

This brochure is a guide only. It should be used in conjunction with, and not a substitute for Burnaby Building Bylaw, Burnaby Zoning Bylaw, Burnaby Tree Bylaw, current editions of the B.C. Building Code, Canadian Electrical Code (with B.C. amendments), and B.C. Plumbing Code. The drawings in this brochure shall not be reproduced for Building Permit Application.

With your cooperation in submitting complete applications we will be able to provide better and faster service. If the requirements set out in this brochure are not met, the application may be rejected. Please note that additional information such as survey plan, floor plans of existing house, etc., may be required to confirm compliance with the Burnaby Zoning Bylaw and the B.C. Building Code.

Other Brochures related to this topic

- *Board of Variance Appeals*
- *Streams and Ravines*
- *Parking Areas and Driveways*
- *Accessory Buildings*
- *Burnaby Tree Bylaw 1996*
- *Letters of Assurance*
- *Roof and Floor (Wood) Truss Design and Layout Drawings*

General requirements

The following are required:

- Building permit application fee (refer to current fee schedule).
- All plans and information submitted must be legible and of suitable quality for microfilming. Full size 2' x 3' (approximate) sheets are preferred and should be photocopy.
- Three sets of drawings to the following minimum scales:

Drawing Type	Scale
site plan	1/8" = 1' - 0" (or 1/16" = 1' - 0" for larger sites)
floor, foundation and roof plan	1/4" = 1' - 0"
cross sections	1/4" = 1' - 0"
construction details	1/2" = 1" - 0"
elevations	1/4" = 1" - 0"

- Drawings will be accepted in imperial or SI metric units, however, only one system of units must be used throughout.
- One copy of reduced site plan – no larger than 8.5" x 14". Single line drawings are acceptable for site plans only.
- Resubmission of all corrections and notations must be on original drawings. Notations should not be in red ink. Drawings should not be laminated. Reversed plans are not acceptable.
- Engineered truss layout (if applicable). For specific information regarding roof trusses, refer to the "Roof and Floor (Wood) Truss Design and Layout Drawings".
- Topographical survey plan may be required at the discretion of plan checker.

Specific requirements

1. Site plan (see sample drawing)

The following must be included in the site plans:

- North arrow, street names and lane(s)
- Civic address and legal description
- Overall building dimensions of principal building (length and width from posts/building face/floor joist projection to opposite posts/building face/floor joist projection) and accessory building.
- Distance of all building setbacks measured perpendicular to the property lines (front, rear, and side yards setbacks)
- Distance between principal building and any accessory buildings
- Existing and finished grade elevations at all corners of the garage and driveway grade

elevations at the property line where the driveway meets the existing road or lane surface. Centreline elevations are adequate if there is no cross-slope to the driveway; otherwise provide elevations along both sides of the driveway. Specify driveway slope as a percentage.

- Driveway(s) and crossing(s) including width and distance from property line(s). It is important to read the "Parking Areas and Driveways" brochure to understand Zoning Bylaw and Engineering Department requirements as they pertain to access to streets and lanes.
- Site dimensions as per Posting Survey.
- Easements, right-of-ways, watercourses, and areas restricted by covenant. Length and height of aerial trespass if applicable shall be indicated on site plan and elevations.
- Vision clearance at street and/or lane intersections.
- Roof and driveway drainage shall be directed to on site drainage system.
- Retaining wall dimensions/locations and heights.
- Telephone poles, guy wires, trees, fire hydrants, signs, light standards located on or adjacent to the property.

2. Foundation, floor and roof plans (see sample drawing)

The following must be included in foundation, floor and/or roof plans:

- Overall building dimensions of the garage.
- Complete dimensions to all construction.
- Windows and doors including door swings and sizes.
- Direction and sizes of all roof structural components, including beams and hangers (sealed and signed by a Registered Professional Structural Engineer if engineered beams are used).

3. Cross sections and construction details (see sample drawing)

The following must be included in the cross section drawings:

- Floor to ceiling height.
- Height between (underside) uppermost ceiling and roof peak.
- Floor, ceiling, roof and wall assembly details.
- Footing and foundation wall details.
- All construction materials.

4. Elevations (see sample drawing)

The following must be included in the elevation drawings:

- exterior finish
- window and door sizes
- existing and finished grades at building corners
- elevations (indicating building height) at finished floor, uppermost ceiling, and roof peak
- roof slope(s)

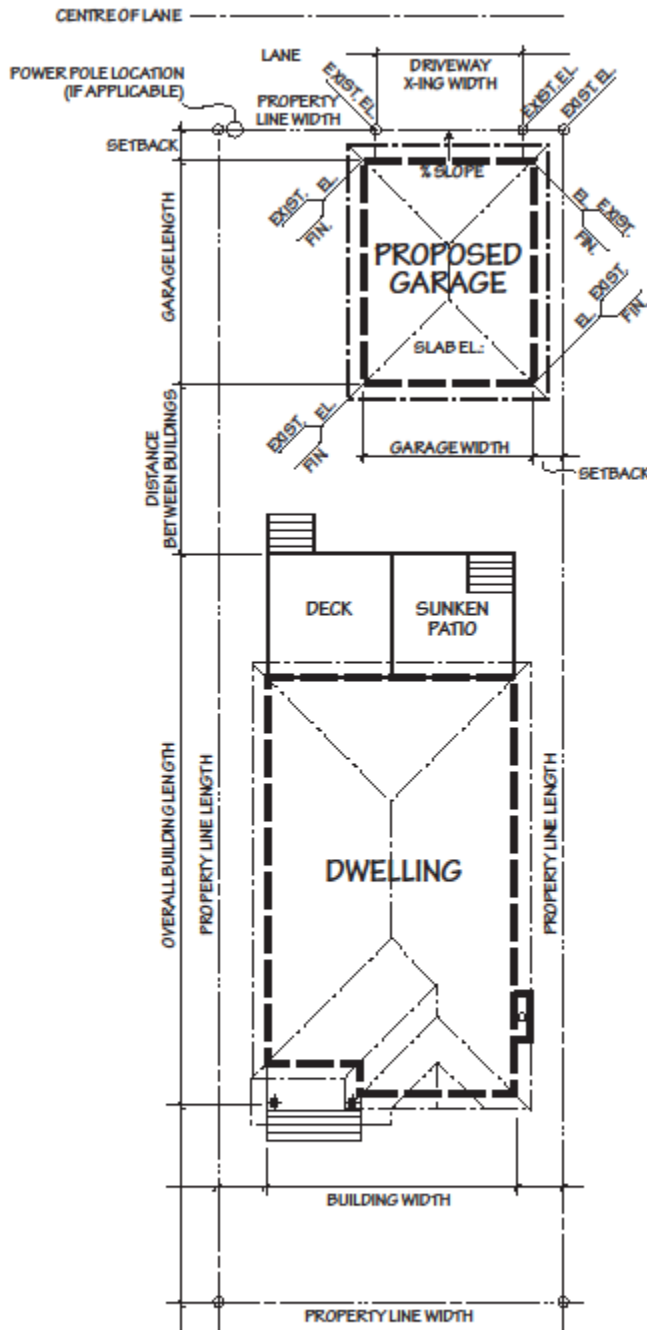
5. Other

The following submissions may also be required:

- Engineered truss layout (if applicable). For specific information regarding roof trusses, refer to the "Roof and Floor (Wood) Truss Design and Layout Drawings" brochure.
- Topographical survey plan may be required at the discretion of plan checker.

Contact Information

Topics	Department	Telephone
Damage deposits, driveway crossings, service connections and related fees	Engineering	604-294-7460
Building, electrical, plumbing, gas and zoning enquiries	Building	604-294-7130
Board of Variance appeal enquiry	Clerks	604-294-7286



CIVIC ADDRESS:

LEGAL DESCRIPTION:

ZONING:

DESIGNER INFO:

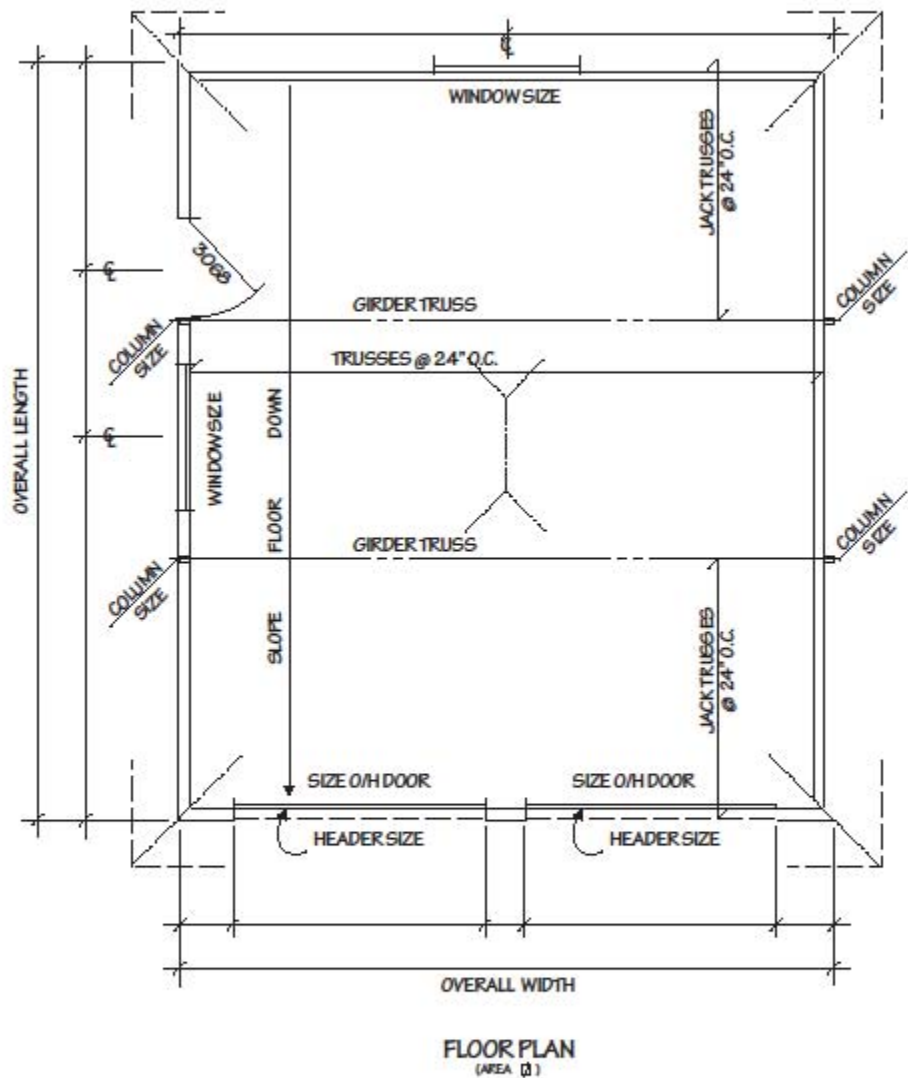
(NAME, ADDRESS, PHONE)

ADDRESS
AVENUE/STREET

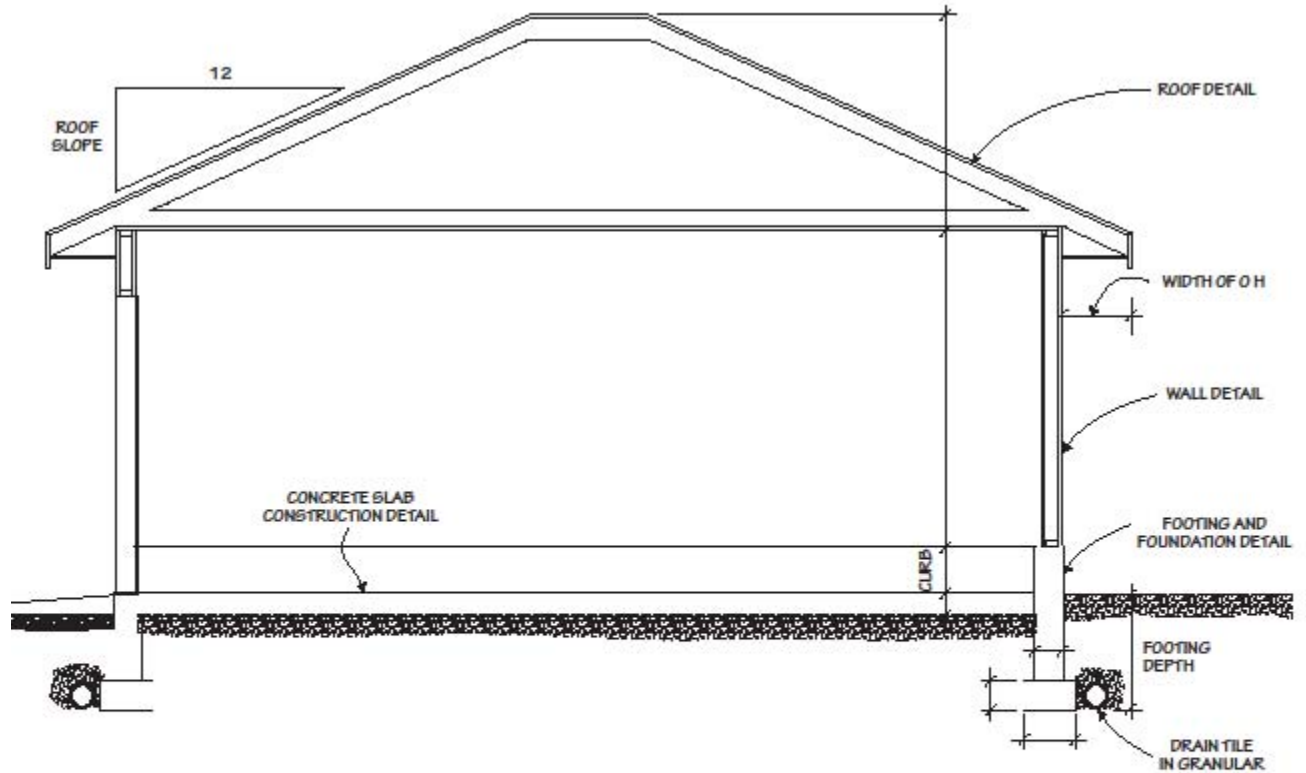
SITE PLAN
SCALE:



Sample Drawing 1



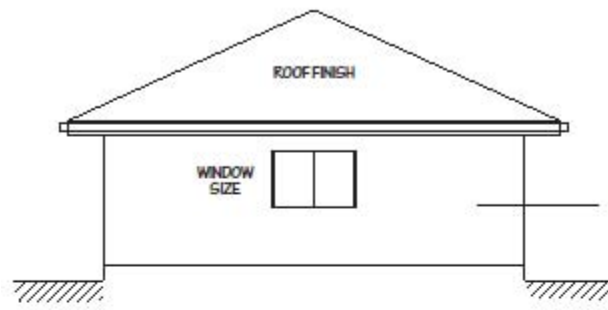
Sample Drawing 2



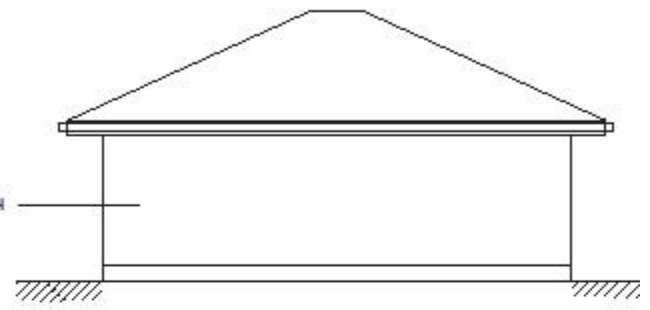
SECTION

CONSTRUCTION SHALL COMPLY WITH
BC BUILDING CODE

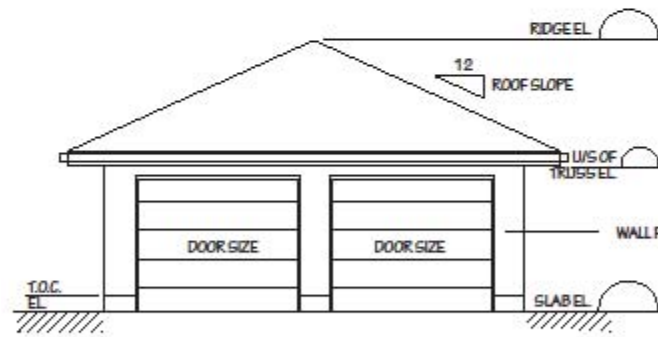
Sample Drawing 3



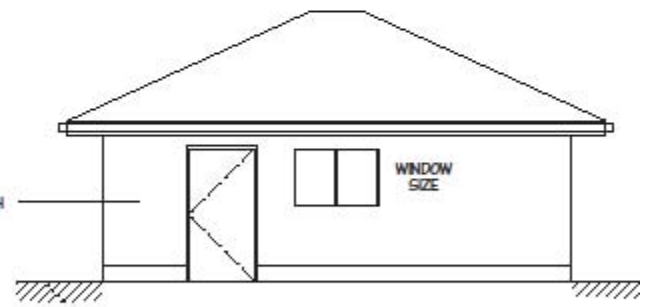
SOUTH ELEVATION



WEST ELEVATION



LANE (NORTH) ELEVATION



EAST ELEVATION

Sample Drawing 4