

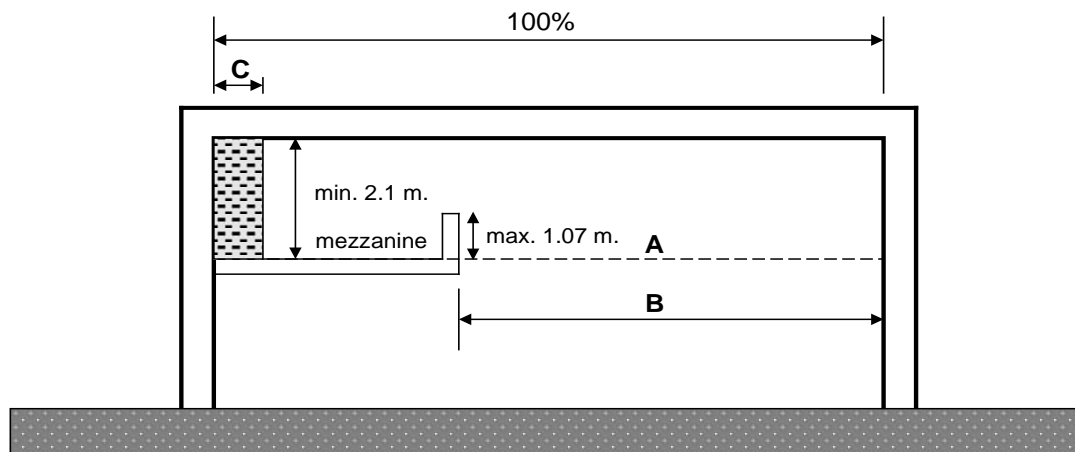
Mezzanine Structures

The purpose of this brochure is to outline submission requirements for mezzanine structures.

"This information is provided for convenience only and is not in substitution of applicable City Bylaws or Provincial or Federal Codes or laws. You must satisfy yourself that any existing or proposed construction or other works complies with such Bylaws, Codes or other laws."

Other brochures related to this topic

- *Submission requirements for tenant improvements*



A - The horizontal plane (dashed line) is measured at the mezzanine floor finish line.

B - At least 60% of the horizontal plane must be open to the floor space below.

C - Up to 10% of the horizontal plane may be enclosed but no dead areas* are permitted.

* dead area - area which is not visually open to the space below.

Definition

The British Columbia Building Code defines a mezzanine as being “an intermediate floor assembly between the floor and ceiling of any room or storey and includes an interior balcony.”

As outlined in Sentences 3.2.1:1(3) to (7), a mezzanine is considered to be second storey and is subject to the Building Code requirements for a second storey if:

- it covers more than 40% of the horizontal plane separating the mezzanine from the floor space that it occupies or;
- it is not visually open to the floor space below or;
- more than 10% of the area above the horizontal plane is enclosed.

An enclosed mezzanine is not considered to be a second storey if its' total area is less than 10% of the room or floor space that it occupies.

| Mezzanine exiting must comply with sentence 3.4.2.2.(1) of the B.C. Building Code.

Preliminary plan approval (P.P.A.) for mezzanines

P.P.A. is an approval indicating that a proposed development meets the requirements of the zoning bylaw.

Mezzanines, both pre-manufactured and site constructed, constitute additional useable floor area in a building. Preliminary Plan Approval (P.P.A.) is required for this construction to ensure that the occupancy is a permitted use, that parking is sufficient and that the additional area does not contravene any other zoning bylaw requirements. P.P.A. should be obtained from the Planning Department prior to or at the same time as submitting an application for a building permit. If Planning approval is not granted, a building permit cannot be issued.

How to apply for P.P.A. for mezzanines

An application form for P.P.A. can be completed at the front counter of the Planning Department on the third floor of Burnaby City Hall. The application fee will be determined at that time based on total construction cost.

Three sets of drawings illustrating the following points must accompany the application. Please note that all plans must be drawn to scale.

Site plan

A site plan showing property dimension, building location and off street loading layouts, including existing and proposed parking and the location of road access to the property is required. The original building plans may be obtained from the Building Department's microfilm services. Written permission from the property owner is required to obtain copies of plans from microfilm. Contact the Building Department at 604-294-7130 for associated fees and further information.

Floor plans

Fully dimensioned floor plans of the building containing the new construction indicating use of the floor space are required. Use of floor area must be labelled on the plans, ie. office area, storage or manufacturing.

Once the review is completed, you will be notified of all comments and requirements and may begin to remedy any noted deficiencies. The revised set of drawings will then be reviewed by the Planning Department.

When all Planning Department requirements have been satisfied, the approval forms must be validated by the property owner(s) and returned to the Planning Department. In the case of registered companies, the forms must be validated and sealed.

Further information regarding application for P.P.A. can be obtained from the Development Plan Technicians in the Planning Department at 604-294-7937.

Please note, a building permit must be applied for within 90 days of receiving P.P.A.

What is a building permit?

A building permit is issued as a means of regulating construction to ensure compliance with safety and health requirements of the applicable B.C. Building Code. Until a proposed building design reflects compliance with the requirements of the codes, a permit will not be issued.

Any structural alteration or addition to an existing building in Burnaby requires a building permit and may also need the services of a professional structural engineer.

Further information

If you have any specific questions related to Burnaby's requirements for mezzanine structures please contact the Building Department at 604-294-7130.